

Senior Administrative Officer,
Planning Department,
Westmeath County Council,
Áras An Chontae,
Mount Street,
Mullingar,
N91 FH4N

26/08/2025

RE: Planning Reference: 25/60234

A Large-Scale Residential Development (LRD) at this site of c.4.279 ha (gross) at Boreen Bradach, Kinnegad, Co. Westmeath. The main development site is bounded by Boreen Bradach Road (L-5014)/Bun Daire estate to the east/north-east, St Etchen's National School to the west and St Etchen's Court to the south. The proposed development will comprise a residential scheme of 129 no. houses along with childcare facility (c.261.3 sq.m). The development will include 2 no. 1-bed houses, 11 no. 2-bed houses, 97 no. 3-bed houses and 19 no. 4-bed houses, ranging in height from one to two storey and including detached, semi-detached and terraced units. Provision of vehicular, pedestrian/cyclist access from the L-5014 (Boreen Bradach Road) and associated upgrades to the local road. All associated site development works, including 263 no. car parking spaces (including 30 no. EV spaces), 330 no. cycle parking spaces. Provision of public and private open spaces, landscaping, boundary treatments, waste management areas, and services provision (including 2 no. ESB substations). All associated works required to enable this development including connection to the Uisce Eireann network

Development Address:

Boreen Bradach, Kinnegad, Co. Westmeath

WMCC Reg. Ref:

25/60234

Date of Request for Further Information:

04th July 2025

Final Date to Respond to Request:

04th September 2025

Introduction

McGill Planning Limited, 9 Pembroke Street Upper, Dublin 2, D02 KR83, is instructed by our client, JH Kinnie Limited, 4/5 Glenroyal Business Centre, Maynooth, Kildare, W23 K032 to submit this further information response to the letter sent by Westmeath County Council. This response has been prepared with input from the design team. For convenience, we have listed items requested as they appear in the further information request letter dated the 04th of July 2025.

Further Information Item No. 1 - Design and Layout

- i. *Concern relates to the layout of the southern pocket of the site which is proposed to accommodate a crèche and 4 (no.) residential units. It is considered that the revised layout of this part of the site is cramped in appearance and fails to provide a quality residential environment for future occupiers of these units and fails to provide a high-quality architectural layout and landmark design solution for the crèche structure, which would positively address this prominent streetscape setting along Boreen Bradach.*

The proposed arrangement fails to have regard to previous concerns raised in the LRD Opinion Report with regard to on-street set down car parking to serve the crèche along Boreen Bradach and location of staff car parking to rear of site which is considered to conflict with adjoining residential uses and are removed from the crèche structure. It is considered that car parking and associated set down areas to serve the crèche should be located within the creche site as a standalone entity. Please submit revised design proposals to address these concerns.

**Please note in this regard that the private open space provisions associated with semi-detached units house no. 01 & 02 are considered inadequate to serve a family dwelling.*

- ii. *The siting of the waste and bicycle storage structure serving the creche located on a prominent corner of the site addressing the new internal residential road and immediately abutting 2 no single storey dwellings (Type G) together with associated boundary treatment is inappropriate. Please submit revised design proposals relocating this service structure to a lesser prominent part of the site. Please note that all boundary treatments addressing the internal service road and Boreen Bradach should be a high-quality design and finish having regard to the sites prominent location.*
- iii. *The overall design treatment of the crèche fails to reflect a typical community/ crèche architectural design form. It is considered having regard to the massing of this structure (overall length 19.47m and height 9.54m) that this structure should be broken up by way of stepping/set-backs to break up the massing of this structure together with an introduction of architectural design features. You are requested to submit revised design proposals which should provide for a higher quality architectural design befitting this community facility which address Boreen Bradach.*
- iv. *Please submit detailed providing justification for the number of car parking spaces and set-down area along with turning manoeuvre plan for vehicles utilising creche parking and set-down area.*

Response

- i. In response to the concerns raised, the design of Cell 01 has been comprehensively revised in order to improve the overall layout, address the “cramped” appearance, and deliver a higher quality residential and childcare environment. Namely the revisions consist of:
- The number of residential units in Cell 01 has been reduced from 04 to 02 units, resulting in a more spacious and balanced layout.
 - The residential units (formerly G03–G04, now identified as G01–G02) have been repositioned further west, increasing the separation distance from the revised crèche building and improving the spatial relationship between the two uses.
 - Each dwelling is now served by a parking space and each has private rear garden of approximately 60 sqm, thereby meeting current development standards for this form of housing.



Figure 1: Original Design of Cell 01 (left) vs Revised Design of Cell 01 (right)

With regard to the crèche, the following key amendments have been made:

- The previous on-street set-down spaces along Boreen Bradach have been omitted in response to earlier concerns.
- The crèche parking and set-down facilities are now provided entirely within the crèche site as a self-contained entity, with direct and convenient access to the building.
- A dedicated 175 sqm outdoor play area (increased from 125 sqm) has been incorporated into the crèche design, significantly enhancing the quality of the facility. The crèche capacity has been adjusted from approximately 50 child places to 38 child places. In accordance with Policy 16.12 of the CDP, one childcare facility providing a minimum of 20 places per 75 dwellings is required, equating to 34 places for this development. The revised crèche therefore exceeds the policy requirement, by delivering 38 places in total.

- The revised layout ensures the crèche presents a strong, positive frontage to Boreen Bradach, supported by enhanced landscaping and boundary treatment, thereby achieving the desired landmark architectural presence along this streetscape.

Overall, the revisions deliver a more rational and spacious design solution that resolves previous concerns, improves residential amenity, and provides a high-quality architectural and functional layout for the crèche.

- ii. In response to the concerns raised, the waste and bicycle storage facilities serving the crèche have been relocated within the ground floor footprint of the crèche building. This ensures that such service functions are fully integrated into the building design, removed from the prominent corner of the site, and no longer positioned adjacent to the two single-storey residential dwellings (Type G). This revision mitigates any potential negative impact on the residential setting or streetscape and provides a more appropriate arrangement in line with best practice urban design principles.

Please refer to Landscape Architects drawings for boundary treatments.

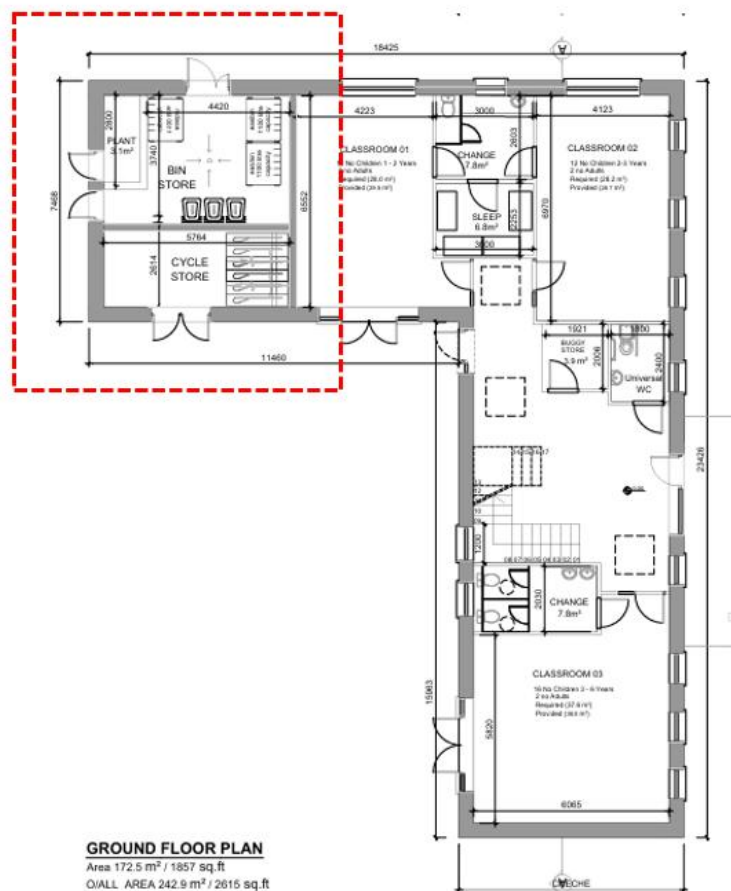


Figure 2: Proposed Crèche Floor Plan illustrating internal bin and bike storage facility

- iii. In response the crèche has been redesigned to provide a higher-quality architectural form that addresses concerns regarding massing and appearance. The revised scheme introduces stepped and set-back elements to break up the overall building length and reduce visual bulk, while a varied material palette of buff brick, off-white render, and feature brick panels creates visual depth and interest.

A glazed entrance canopy enhances the building's community identity, and service elements such as bin and bicycle storage have been fully integrated into the building footprint. Together, these revisions deliver a more refined design that positively addresses Boreen Bradach and provides an appropriate landmark community facility within the development.



Figure 3: Original Crèche Design

As per the CGIs below the revised crèche design ensures a modern, functional and context-sensitive building that contributes positively to both the scheme and wider streetscape.



Figure 4: Revised CGI of revised Creche Design



Figure 5: Revised CGI of revised Creche Design

- iv. We note that the current Westmeath County Development Plan doesn't have any specific parking standards for creche parking. Notwithstanding, the parking provision for the crèche has been designed in accordance with industry standards, with 1 set-down space per 4 children, including 1 universal access space, providing a total of 10 spaces. To further mitigate demand for additional parking, a staggered drop-off and collection system will be implemented in agreement with the operator, ensuring efficient use of spaces and the safe management of traffic movements at peak times.

Please refer to MCORM FI Response pack for full details.

Further Information Item No. 2 - Roads and Traffic Safety

- i. *Given the limited width of the L-5014 road (Boreen Bradach), you are requested to submit further detail to determine how both vehicular traffic and pedestrian movements will interact along the route to Kinnegad Main Street R148, also bearing in mind the requirements of Item 1(i) above.*
- ii. *The applicant is requested to submit additional traffic calming details for the junction between the proposed development and L-5014 road (Boreen Bradach).*

Response

- i. Noted. As per the ORS FI Response pack, a raised ramp is proposed along the L-5014, which has been designed to complement the raised table proposed at the new entrance/exit that serves the development. This will ensure a consistent approach to traffic calming and pedestrian protection along this stretch of road between the proposed development and Kinnegad Main Street (R148).
- ii. To address these concerns, and as agreed between ORS and Roads Department, Westmeath County Council, a raised will be installed at the junction between the proposed development and the L-5014 road (Boreen Bradach). This traffic calming feature is designed to enhance pedestrian safety and reduce vehicle speeds at the entrance/exit of the new development.

The raised table will extend across Boreen Bradach Road, providing a continuous link between the footpaths located to the north and south of the new access road. This design ensures improved accessibility and visibility for all road users.

Please refer to the flowing ORS drawing for full design details:

- Drawing No. 241139-ORS-ZZ-00-DR-TR-700
- Drawing No. 241139-ORS-ZZ-00-DR-CE-401

Further Information Item No. 3 – Submissions

- i. You are invited to respond to issues raised from third party submissions.

Submission	Applicants Response
<u>Excessive Footfall & Impact on St Etchen's Court.</u> <ul style="list-style-type: none"> - Anna & John Melia - Anne O'Riordan & Camilius Cleary - Anne & Cormac O'Riordan - Chris Gahan - Darren Giles - Dean Lawless - Diana Luksa - Erica Boyle - Jelene Zakarite - John Nerney - John Paul & Lyanne Gahn - Kamalyut Kaur - Leah Ainsworth - Pauline Ainsworth - Rick & Suzanne Adams - Sharon Barry - Bernard Cannon & Brenda Geoghegan - 	<p>Noted. The primary access will be via Boreen Bradach and will provide vehicular access as well as pedestrian and cyclist access. This route continues to the northwest of the site providing future potential access for vehicles and pedestrians, enabling this lands future development. A new pedestrian route is proposed from the northeastern corner of the site directly onto Boreen Bradach (close to the entrance of Bun Daire) improving permeability to and from the site.</p> <p>It is also noted that proposed future green/ pedestrian links are also included, subject to agreement with adjoining landowners, to</p> <ul style="list-style-type: none"> - The south of the site, adjacent to cell 2, providing access to St Etchen's Court. - The south of the site, adjacent to cell 3 to the school site. <p>The future links are indicative only at this stage, however these are strategically positioned, allowing ease of movement for residents while promoting walkability with the possible future provision of direct links to nearby shops and schools.</p>
<u>Littering & Maintenance Burden</u> <ul style="list-style-type: none"> - Anna & John Melia - Anne O'Riordan & Camilius Cleary - Anne & Cormac O'Riordan 	<p>Private bin storage will be provided within the curtilage of the houses. An Operational Waste Management Plan is prepared by ORS please refer for further details.</p> <p>Issues such as littering and general waste management fall under the responsibility of local services and environmental enforcement and are not considered material planning considerations in the determination of this application.</p> <p>With regards to maintenance of open spaces (grass/weeds) as referenced, a management company will be established to maintain and manage the areas of public open space and children's play areas. Individual residents will manage ands within their own private ownership.</p>
<u>Security & Passive Surveillance</u>	

<ul style="list-style-type: none"> - Anna & John Melia - Anne O’Riordan & Camilius Cleary - Pauline Ainsworth 	<p>The proposed development has been designed to reflect the Development Plan policy in respect of passive surveillance. All public open space, roads, on street parking and footpaths are directly overlooked by properties within the proposed development. This creates passive surveillance of these areas ensuring safety and security of same.</p>
<p><u>Historical and Archaeological Concerns</u></p> <ul style="list-style-type: none"> - PJ and Margaret Cannon 	<p>An archaeological desktop assessment was undertaken to inform a planning application for a proposed residential development. There are no recorded archaeological sites within the proposed development area, however two are in the vicinity.</p> <p>The nearest recorded monument comprises a castle (WM027-071) which may lie c. 150m to the south, but an exact location is not known. Archaeological excavations to the immediate north of the proposed development area, carried out in advance of the Bun Daire residential development, revealed a large previously unrecorded early medieval enclosed settlement and burial area.</p> <p>The report concludes; “It is recommended that a programme of test trenching be carried by a suitably qualified archaeologist under licence from the National Monuments Service to investigate the potential for previously unidentified subsurface archaeological remains.”</p> <p>Please see the Archaeological Assessment Report from IAC for full details.</p>
<p><u>Boundary Protection/Treatments/Light and Construction Noise/Dust</u></p> <ul style="list-style-type: none"> - Anna & John Melia - Anne O’Riordan & Camilius Cleary - Anne & Cormac O’Riordan - Chris Gahan - Darren Giles - Dean Lawless - Diana Luksa - Erica Boyle - Jelene Zakarite - John Nerney - John Paul & Lyanne Gahn - Kamalyut Kaur - Leah Ainsworth - Pauline Ainsworth 	<p>Noted.</p> <p>Appropriate boundary treatments are proposed between the public open space and the communal/ private spaces to ensure they are clearly defined.</p> <p>As set out within the Boundary Treatments Plan, the southern boundary that form the common boundary with St Etchen’s Court will consist of the existing hedgerow to be trimmed back and a 2.0-metre-high metal post and rigid mesh panel fence is to be installed. This approach retains the visual presence of the hedge within adjacent gardens while providing a secure boundary.</p> <p>Boundary Treatment 6 is also proposed, which includes a 2.4-metre-high metal fence all founded on engineered concrete foundations. In areas where trees and hedgerows are to be preserved, protective measures compliant with BS 5837:2012 will be implemented prior to any site works, including the erection of temporary fencing to safeguard root zones and overhanging vegetation until permanent boundaries are in place.</p> <p>A public lighting plan and report prepared by MandE Mechanical and Electrical accompanies this LRD application, whereby the</p>

<ul style="list-style-type: none"> - Rick & Suzanne Adams - Sharon Barry 	<p>lighting has been designed in accordance with the requirements of the Irish Standard for Road Lighting, I.S. EN 13201-2:2015.</p> <p>A Construction Environmental Management Plan (CEMP) & Construction and Demolition Resource and Waste Management Plan, which details hours of operation and mitigation measures to avoid nuisance emissions of noise, vibration and dust during construction.</p> <p>A Noise Impact Assessment prepared by Amplitude Acoustics. The report concluded: "Based on the results of the assessment the proposed development is predicted to comply with the relevant requirements of the Westmeath Noise Action Plan 2024 – 2028, WHO guidance and ProPG, subject to implementing the design guidance outlined within this report." Please refer to this report for full details.</p>
<p><u>Traffic Volume, Congestion & Safety</u></p> <ul style="list-style-type: none"> - Anne & Patrick Cole - Bernard Cannon & Brenda Geoghegan - David Cole - Denis Leonard - Margaret Cole - Marrienne Casey - Irene Giles - Patrick O'Rourke - PJ Cannon - Boreen Bradach Residents Group 	<p>In the Traffic and Transport Assessment and Mobility Management Plan it has addressed concerns such as traffic calming plan, road safety, traffic impact assessment. Please refer to reports and drawings by ORS.</p> <p>Road signage for the various areas has been detailed on drawing 241139-ORS-ZZ-00-DR-TR 700 along with design details for home zones and footpath areas. A 3m wide footpath/shared surface has been provided along the main access road for any potential high level traffic volumes.</p> <p>Cars are restricted to a single access, with raised tables and home zones promoting pedestrian and cyclist priority throughout the site. This is fully in accordance with DMURS.</p> <p>The development has been designed with sensitivity to the existing character and amenity value of Boreen Bradach. A raised table has now been introduced at the access point to the development, linking the new footpath north and south along Boreen Bradach Road. This feature serves as a traffic calming measure, helping to preserve the public road function as a recreational and pedestrian-friendly route.</p> <p>The proposed footpaths, raised crossings, and calming measures are intended to support safe pedestrian movement and reduce the risk of conflict with vehicular traffic.</p>
<p><u>Inadequate Road Infrastructure – Narrow Access Via Borren Bradach</u></p> <ul style="list-style-type: none"> - Boreen Bradach Residents Group - Anne & Patrick Cole 	<p>As agreed, (discussions between ORS and Westmeath Transportation Section) a portion of new public footpath is to be installed on the western side of Boreen Bradach. Refer to drawing 241139-ORSZZ-00-DR-TR-701 for details. Additional road gullies have installed to cater for surface water runoff along Boreen Bradach for this new section of footpath and ramp.</p>

<ul style="list-style-type: none"> - Bernard Cannon & Brenda Geoghegan - David Cole - Denis Leonard - Margaret Cole - Marrienne Casey - Irene Giles - Patrick O'Rourke - PJ Cannon 	<p>A speed survey has been carried along the main road within Kinnegad town (R148) to ascertain if a tabletop is required at the junction of L5014 / R148. Based on the speed survey results, traffic volume analysis, and assessment against DMURS, ORS do not recommend the installation of a tabletop ramp at the junction between Main Street (R148) and Boreen Bradach (L-5014). Please refer to Section 7 and Appendix J of the Engineering Planning Report prepared by ORS for assessment of speed survey results.</p> <p>It is acknowledged that Boreen Bradach is narrow in sections. To address this, a raised pedestrian crossing ramp has been installed at the narrowest point, linking the new footpath fronting the development with the existing footpath on the opposite side. This ramp is designed to slow vehicles and manage pedestrian interactions safely.</p> <p>In addition, a new 1.6m wide footpath is proposed further south along the west side of Boreen Bradach. This will enhance pedestrian movement and connectivity, linking into the existing footpath network and improving safety for all users.</p> <p>Traffic generated by the development will be directed southward onto the main road within Kinnegad town, helping to distribute flow and reduce pressure on more sensitive junctions.</p>
<p><u>Inadequate Sewage capacity</u></p> <ul style="list-style-type: none"> - Marrienne Casey - PJ Cannon 	<p>The proposed wastewater network for the development will discharge to the existing foul sewer infrastructure in the vicinity of the site, identified in Figure 4.2 of the Engineering Planning Report, which in turn discharges to the Kinnegad Wastewater Treatment Plant (WWTP) to the east. Please refer to ORS drawing number 241139-ORS-ZZ-00-DR-CE-400 & 241139-ORS-ZZ-00-DR-CE-401 for layout of the proposed wastewater drainage infrastructure. IW have provided a letter in regard to Statement of Design Acceptance (SODA), please refer to Appendix A of the Engineering Planning Report for details.</p>
<p><u>Insufficient Water Supply Infrastructure</u></p> <ul style="list-style-type: none"> - Marrienne Casey 	<p>A Confirmation of Feasibility Letter was received from Uisce Eireann in October 2024, which outlined that a connection to the existing water supply network is feasible subject infrastructure upgrade by Uisce Eireann. A Statement of Design Acceptance was subsequently received in April 2025 (Refer to Appendix A of the Engineering Report for Irish Water Correspondences including Confirmation of Feasibility Letter and Statement of Design Acceptance). The daily demand has been calculated as 80.4m³/day.</p>
<p><u>5km Boreen Loop</u></p> <ul style="list-style-type: none"> - Anne Cole - Bernard Cannon 	<p>Policy CPO 8.105 of the County Development Plan Seeks to <i>"Support the development of a looped walking/cycling routes within the locality, including the enhancement of "An Boreen</i></p>

Further Information Response

Proposed Residential Development on Lands at Boreen Bradach, Kinnegad, Co. Westmeath



<ul style="list-style-type: none">- Marrienne Casey- Patrick O'Rourke- PJ Cannon	<p><i>Brádach", " walking/cycle route and encourage increased connectivity to Kinnegad Town Centre".</i></p> <p>The scheme will provide new pedestrian routes onto the Boreen Bradach Road, improving linkages between existing estates and the proposed development. A new stretch of public footpath will the run the entire interface of the site along the Boreen Bradach further improving connections with Kinnegad Town Centre.</p>
<p><u>Folio WH31973F - Right of Way</u></p> <ul style="list-style-type: none">- Irene Giles	<p>We note the observation from Mrs. Irene Giles date stamped 16 June 2025. We believe, without prejudice, this is a civil / legal matter, that does not relate to the planning application and should not be considered as part of the planning decision.</p>

Other Matters

****Note:** A copy of the Fire Officer Report is enclosed for your consideration should you wish to address any matters raised in this regard.

Response

We note the comments within the Fire Officer Report. In response, the creche will be subject to a FSC application at construction stage and all requirements of Part B will be satisfied.

Conclusion

This Further Information Response has been completed by the Design Team of MCORM Architects, ORS Consulting Engineers, MandE Consulting Engineers Ltd and Landmark Design Landscape Architects.

The Further Information pack has addressed each of the elements raised by WCC in full.

Accordingly, we therefore request that Westmeath County Council grant permission for the proposed development subject to conditions as appropriate.

Should you require anything further, please don't hesitate to contact our office.

Yours faithfully,

Sean Maguire

Senior Planner